



YOUR INSPECTION REPORT

Built On A Foundation You Can Trust !

PREPARED BY:

DJ Hynek



FOR THE PROPERTY AT:

Your Street

Anytown, BC P0P 0P0

PREPARED FOR:

YOUR NAME

INSPECTION DATE:

Saturday, July 11, 2026



DJ's Home Inspections
8529 British Columbia 95A
Kimberley, BC V1A 3M1

250.520.0512
CPBC # 90128

<http://www.djshomeinspection.ca>
trust@djshomeinspection.ca



July 17, 2026

Dear Your Name,

RE: Report No. 3100, v.3
Your Street
Anytown, BC
P0P 0P0

Thank you for choosing us to perform your home inspection. We hope the experience met your expectations.

There are a series of colored tabs at the top of each page of the attached report that you can click for easy navigation. The report has one section for every major home system (Roofing, Exterior, Structure, etc.). There is some reference material at the end (See the Reference tab).

Please feel free to contact us with questions about the report or the home itself any time, for as long as you own your home. Our telephone and e-mail consulting service is available at no cost to you.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

DJ Hynek
on behalf of
DJ's Home Inspections

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SUMMARY

Your Street, Anytown, BC July 11, 2026

Report No. 3100, v.3

<http://www.djshomeinspection.ca>

SUMMARY

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Electrical

RECOMMENDATIONS \ Overview

Condition: • Recommend evaluation and correction of the electrical deficiencies identified in this report by a qualified licensed electrical contractor. Corrections will help improve safety and reduce the potential for electrical shock, fire, equipment damage, or system malfunction.

Plumbing

SUPPLY PLUMBING \ Water supply piping in building

Condition: • Polybutylene (Poly-B) water supply piping was observed

Implication(s): Poly-B piping has a history of premature failure and leaks, which may result in water damage. Some insurance providers may have coverage restrictions or requirements related to Poly-B plumbing

Location: Plumbing system interior (water supply piping) Mechanical Room

Task: Recommend evaluation by a licensed plumber to assess the condition of the Poly-B plumbing system and determine if any monitoring, repairs, or replacement are required.

Time: At time of possession

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

Condition: • Sink waste piping leaking

Implication(s): May cause moisture damage, deterioration of cabinetry, and potential mould growth

Location: Basement Bathroom, Second Floor Bathroom

Task: Repair or replace affected drain piping and connections

Time: As soon as practical - by a licensed plumber

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

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General: • The purpose of the roof system is to shed water away from the structure and help protect the home from moisture intrusion. During the inspection, visible roof coverings and components are evaluated for their apparent condition, signs of damage or deterioration, and visible deficiencies. The inspection is limited to accessible and visible components at the time of inspection. Remaining service life, future performance, and concealed conditions cannot be determined

Sloped roofing material: • [Asphalt shingles](#)

Sloped roof flashing material: • Metal

Typical life expectancy: • 25-30 years

Limitations

Inspection performed:

- By walking on roof



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Age determined by: • The age of the roof covering could not be determined during the visual inspection. Installation date, maintenance history, and repair records were not available for review

Recommendations

SLOPED ROOFING \ Asphalt shingles

1. Condition: • Moss growth and/or debris accumulation observed on the roof surface.

Implication(s): Moss and debris can trap moisture, accelerate roof deterioration, impede proper drainage, and may shorten the service life of the roofing system if not addressed.

Location: Roof

Task: Maintain the roof by removing moss and/or debris as needed to help preserve the roofing materials

Time: Ongoing maintenance

SLOPED ROOF FLASHINGS \ Chimney flashings

2. Condition: • Chimney flashing loose or open seam

Implication(s): Loose flashing may allow water intrusion, leading to moisture damage and concealed roof leaks

Location: Roof

Task: Have the chimney flashing repaired and properly secured by a qualified roofing contractor

Time: As soon as practical



6.

3. Condition: • Cricket (roof saddle) missing at chimney

Implication(s): Water and debris may accumulate behind the chimney, increasing the risk of roof leaks and roof deterioration

Location: Roof

Task: Recommend installation of a properly flashed cricket by a qualified roofing contractor

Time: As soon as practical

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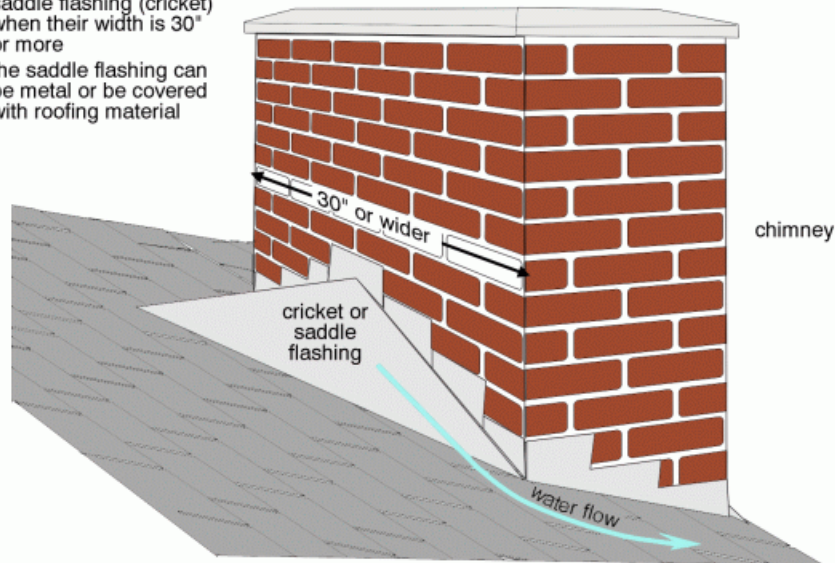
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Chimney saddle flashings

chimneys require a saddle flashing (cricket) when their width is 30" or more the saddle flashing can be metal or be covered with roofing material



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Description

General: • The exterior of the home forms part of the building envelope, helping protect the structure from moisture intrusion and weather-related damage while also contributing to appearance. During the inspection, exterior components are evaluated for signs of deterioration, potential water entry points, and conditions that may affect the performance of the building envelope, safety, function, or structural integrity of the home.

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Away from building](#) • [Towards building](#) • [Flat](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Aluminum](#)

Wall surfaces and trim: • [Vinyl siding](#) • [Stucco](#) • [Brick](#) • [Wood](#)

Walkway: • Concrete • No performance issues were noted.

Deck: • Ground level • Pressure-treated wood • Composite

Fence: • Wood • No performance issues were noted.

Carport: • Attached

Limitations

General: • Evaluation of systems and components for weathertightness is limited to the conditions present at the time of inspection. Weather conditions, moisture levels, and other factors may affect the ability to identify active or potential water intrusion. Certain conditions may reveal issues that are not apparent during the inspection and cannot be predicted.

Upper floors inspected from: • Ground level

Exterior inspected from: • Ground level

Recommendations

ROOF DRAINAGE \ Gutters

4. Condition: • Dirt and debris accumulation observed in the gutters.

Implication(s): Accumulated debris observed in gutters. Restricted drainage may cause overflow and moisture-related damage. Clean and maintain gutters as required

Location: Roof

Task: Recommend cleaning debris from gutter

Time: Ongoing maintenance

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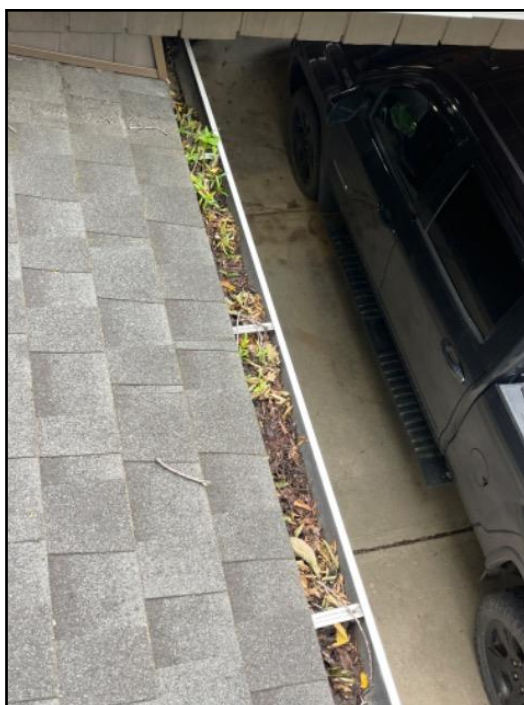
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8.



9.



10.

ROOF DRAINAGE \ Downspouts

5. Condition: • Downspouts discharge onto lower roof surfaces

Implication(s): Concentrated water discharge may cause premature roof wear and increase the risk of leaks

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Location: Roof

Task: Recommend extending or redirecting downspouts to an approved drainage location

Time: As soon as practical

Downspout running across roof

installing a downspout (from the secondary roof to the main gutter below) helps prevent localized roof wear



11.

WALLS \ Wood siding

6. **Condition:** • Wood siding finish appears weathered and requires repainting or re-staining.

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Implication(s): Deteriorated finish reduces protection from moisture and weathering, increasing the risk of cracking, deterioration, and rot

Location: Exterior Wall

Task: Refinish, paint, or seal exposed wood surfaces as needed to restore protection against moisture and weathering

Time: Ongoing maintenance

EXTERIOR GLASS/WINDOWS \ Glass (glazing)

7. Condition: • Broken window glazing was observed

Implication(s): Broken glazing may allow air and water infiltration, reduce energy efficiency, and present a safety hazard

Location: Window - Front Entry

Task: Recommend replacement of the damaged glazing

Time: At time of possession



12.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

8. Condition: • Movement observed at deck floor

Implication(s): Deck movement may indicate inadequate support, deterioration, or loose connections, affecting stability and safety

Location: Deck

Task: Recommend evaluation and repairs by a qualified contractor as needed

Time: As soon as practical

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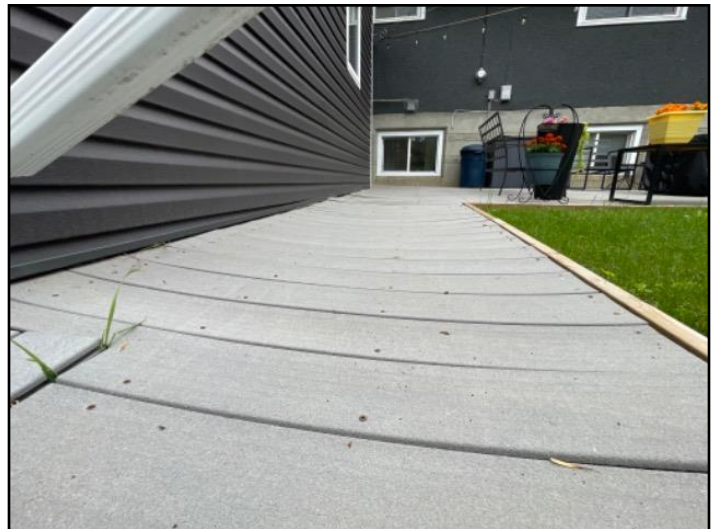
13.



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16.

LANDSCAPING \ General notes

9. Condition: • Planters and gardens in contact with exterior wall

Implication(s): May retain moisture against the wall, increasing the risk of deterioration and potential moisture intrusion

Location: Exterior Wall - Foundation

Task: Relocate or provide clearance between landscaping and the exterior wall to promote drainage and airflow

Time: As soon as practical

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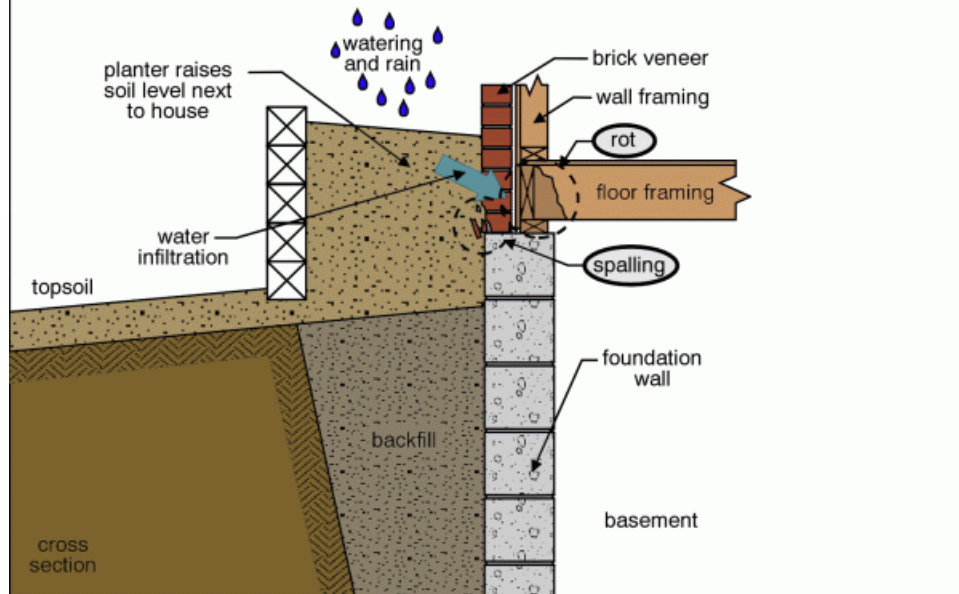
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Watch for planters or gardens against walls



17.

LANDSCAPING \ Lot grading

10. Condition: • Negative or inadequate slope observed around foundation walls

Implication(s): Increased risk of surface water accumulation, basement/crawlspace moisture intrusion, foundation deterioration, and potential long-term structural damage.

Location: Exterior Wall

Task: Regrade the surrounding soil and/or improve drainage provisions to promote positive drainage away from the foundation.

Time: Ongoing maintenance

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Recommended grading slopes



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20.

LANDSCAPING \ Driveway

11. Condition: • Cracked surface observed on driveway

Implication(s): Surface cracking may allow water penetration, which can accelerate deterioration through freeze-thaw cycling and lead to further damage

Location: Driveway

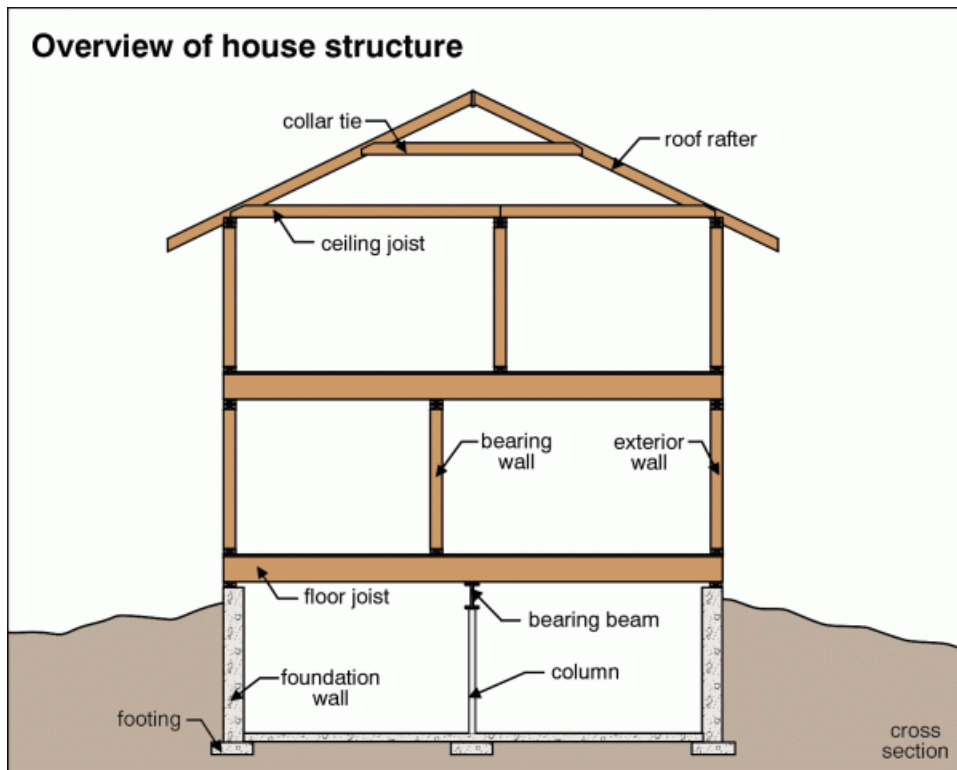
Task: Repair cracks and seal the driveway surface as needed

Time: Ongoing maintenance

Description

General:

- The purpose of the structural inspection is to evaluate, based on visible and accessible conditions at the time of inspection, whether there are indications of significant structural deficiencies or failure. Building practices and codes change over time; this inspection does not determine compliance with current building codes. Concealed conditions, inaccessible areas, and future performance cannot be evaluated.



Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Joists](#) • Steel columns • Wood columns • Built-up wood beams (girders) • Subfloor - plywood

Exterior wall construction: • Not visible

Roof and ceiling framing: • Not visible

Limitations

General: • Evaluation of the structural system is limited to visible and readily accessible components at the time of inspection. Concealed conditions, inaccessible areas, and components hidden by finishes, furnishings, insulation, storage, or other obstructions could not be evaluated. This inspection is not a code compliance inspection and does not determine future structural performance or remaining service life

Inspection limited/prevented by: • Ceiling, wall and floor coverings

Recommendations

FOUNDATIONS \ General notes

12. Condition: • Typical foundation shrinkage cracks were observed in the foundation wall

Implication(s): Unsealed cracks may allow water and moisture intrusion, which can contribute to dampness and deterioration of building materials over time.

Location: Foundation Wall - West Side

Task: Recommend sealing the cracks with an appropriate foundation crack sealant to help reduce moisture penetration.

Time: At time of possession



21.

WALLS \ Masonry veneer walls

13. Condition: • Typical minor cracking observed in the masonry veneer wall

Implication(s): Minor cracks may result from normal movement but should be monitored for changes

Location: Exterior Wall

Task: Monitor for changes and seal/repair as needed to help prevent moisture intrusion

Time: As soon as practical

STRUCTURE

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22.

Description

General: • The electrical system is visually inspected for apparent condition and safety concerns. The main panel, subpanels, visible wiring, and a representative number of receptacles, switches, and lighting fixtures are evaluated at the time of inspection. The inspection does not include verification of code compliance, concealed wiring, load calculations, or future performance of electrical components

Service entrance cable and location: • [Overhead - cable type not determined](#)

Service size: • [100 Amps \(240 Volts\)](#)

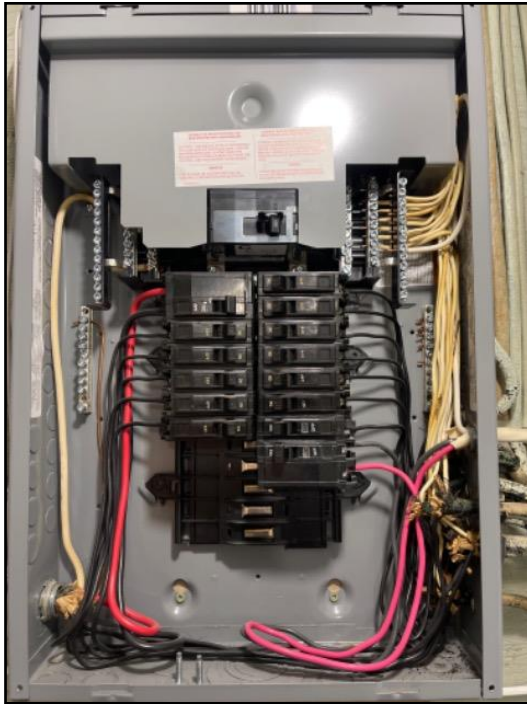
Main disconnect/service box rating: • [100 Amps](#)

System grounding material and type: • [Copper - water pipe](#)

Distribution panel type and location: • [Breakers - basement](#)

Electrical panel manufacturers:

- Square D



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Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#) • [Copper - metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#)

Smoke alarms (detectors): • [Present](#)

Carbon monoxide (CO) alarms (detectors): • None noted

Fire Extinguishers: • None

Limitations

General: • Inspection of the electrical system was limited to visible and accessible components at the time of inspection. Concealed wiring, internal component conditions, code compliance, load calculations, and future performance were not evaluated

System ground: • Continuity not verified

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Not included as part of a building inspection: • Testing of smoke and/or carbon monoxide alarms

Recommendations

RECOMMENDATIONS \ Overview

14. Condition: • Recommend evaluation and correction of the electrical deficiencies identified in this report by a qualified licensed electrical contractor. Corrections will help improve safety and reduce the potential for electrical shock, fire, equipment damage, or system malfunction.

DISTRIBUTION SYSTEM \ Wiring (wires) - installation

15. Condition: • Electrical wiring not properly secured

Implication(s): Loose wiring may result in damage, increased wear, or potential electrical hazards

Location: Kitchen

Task: Have wiring properly secured by a qualified electrician

Time: At time of possession



26.

DISTRIBUTION SYSTEM \ Junction boxes

16. Condition: • Junction box cover is loose or missing.

Implication(s): Exposed electrical connections can present a shock hazard, increase the risk of accidental contact, and may allow damage to the wiring.

Location: Utility Room

Task: Install or secure an appropriate cover on the junction box.

Time: As soon as practical by a qualified electrician

DISTRIBUTION SYSTEM \ Outlets (receptacles)

17. Condition: • Damaged electrical outlet observed.

Implication(s): Damage may affect safe operation of the outlet and could present a potential safety hazard if left

unaddressed.

Location: Mechanical Room, Bedroom

Task: Repair or replace the outlet as needed

Time: As soon as practical, by a qualified electrician



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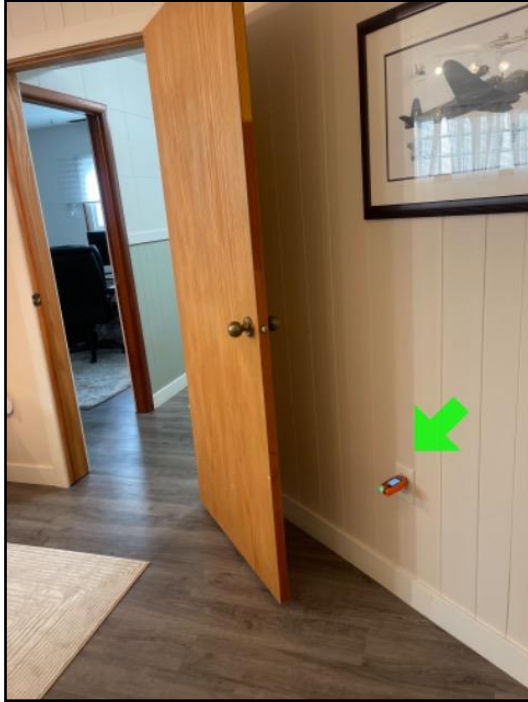
18. Condition: • Loose electrical outlet observed

Implication(s): May affect connection stability and increase risk of arcing or damage and electric shock

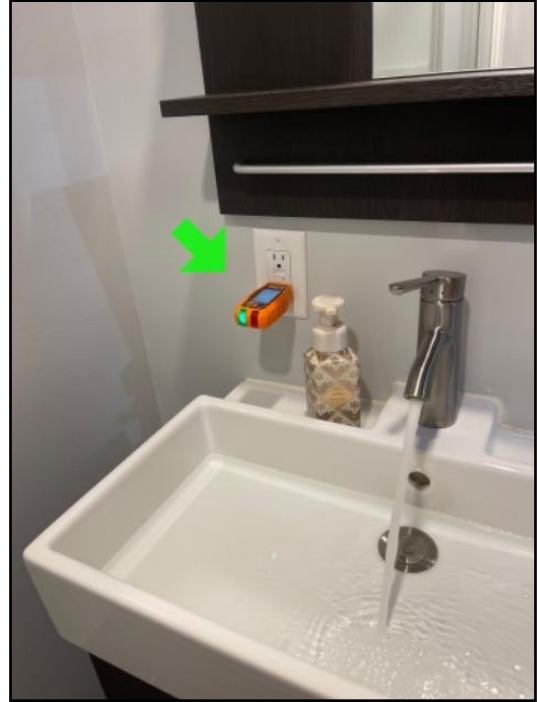
Location: Basement Bathroom, Family Room

Task: Secure or replace receptacle as needed

Time: As soon as practical, by a qualified electrician



30.



31.

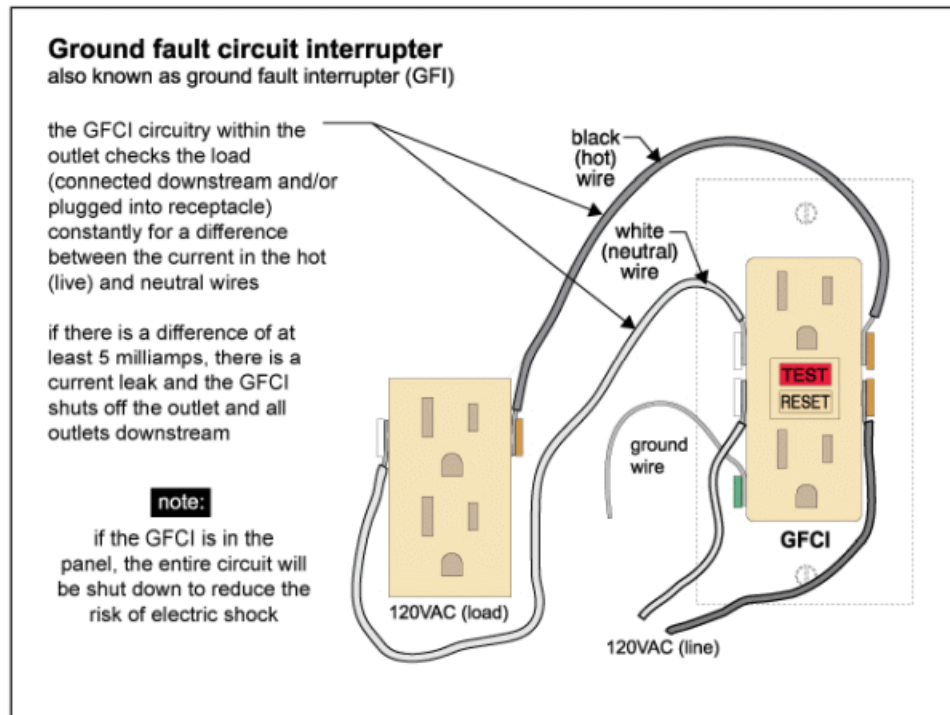
19. Condition: • GFCI (Ground Fault Circuit Interrupter) protection not observed

Implication(s): Increased risk of electrical shock in areas exposed to moisture

Location: Exterior Wall, Kitchen

Task: Install GFCI (Ground Fault Circuit Interception) protection

Time: As soon as practical, by a qualified electrician

**DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)**

20. Condition: • Carbon monoxide detectors were not observed in the home.

Implication(s): Reduces protection against carbon monoxide exposures. Life safety hazard.

Location: All levels of the home

Task: Recommend installation of carbon monoxide detectors in appropriate locations.

Time: Immediately upon possession

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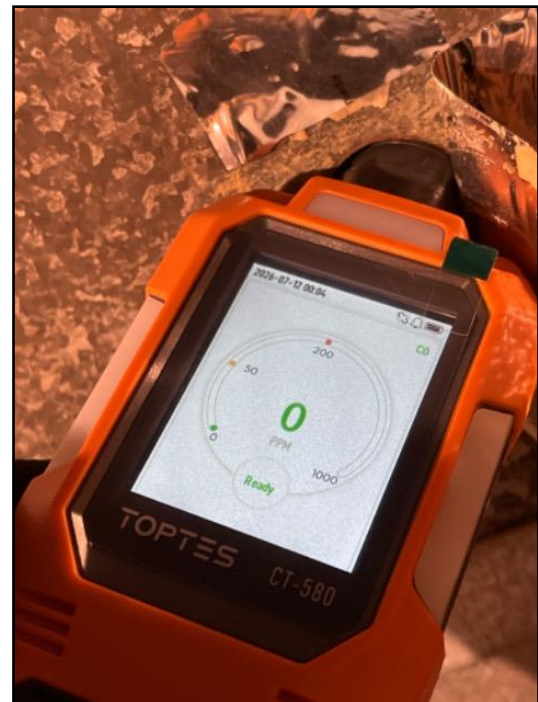
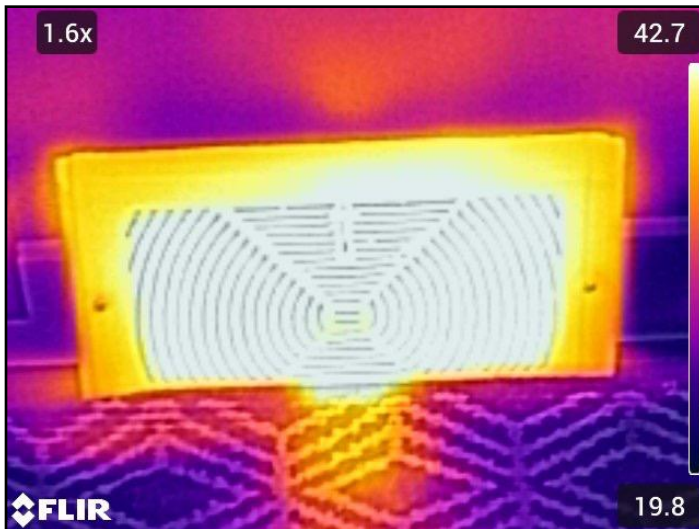
General: • The heating system provides adequate heat throughout the home, including during cold conditions. It is evaluated for proper operation and safe venting of combustion gases to the exterior.

Heating system type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Furnace manufacturer:

• Trane



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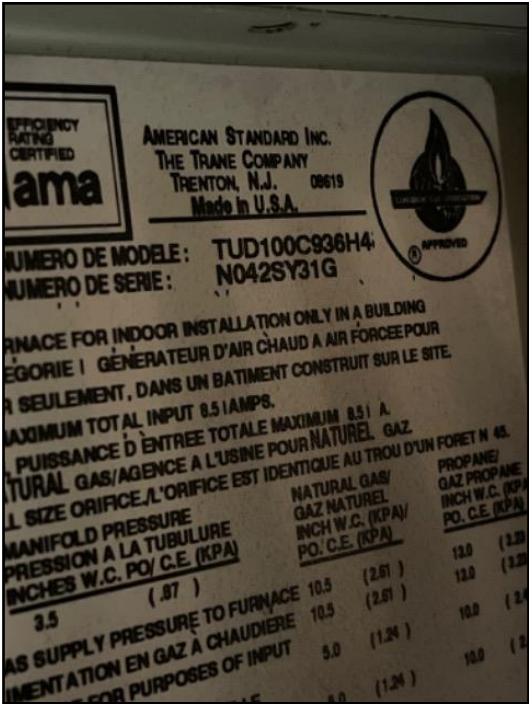
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Heat distribution: • [Ducts and registers](#)
Approximate capacity: • [100,000 BTU/hr](#)

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Efficiency: • [Mid-efficiency](#)

Exhaust venting method: • [Induced draft](#)

Combustion air source: • Outside

Approximate age: • [22 years](#)

Typical life expectancy: • Furnace (Mid-High Efficiency) 20-25 Years

Main fuel shut off at: • Meter

Air filter: • Disposable • 16" x 25" • 20" x 25" • 1" thick

Exhaust pipe (vent connector): • Type B

Chimney/vent: • [Metal](#)

Humidifier: • [Duct mounted bypass humidifier](#)

Location of the thermostat for the heating system: • Living Room

Ancillary components: • Programmable thermostat

Limitations

General: • The heating system is evaluated for general condition, apparent operation, and visible safety concerns at the time of inspection. Performance under all weather conditions, heating capacity, distribution effectiveness, and future reliability cannot be determined. Venting systems are visually inspected for apparent condition; concealed defects or conditions not visible at the time of inspection cannot be evaluated.

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • The heat exchanger was not visible and could not be inspected due to its concealed location within the furnace

Recommendations

FURNACE \ Air filter

21. Condition: • Furnace filter was observed to be dirty

Implication(s): A dirty filter can restrict airflow, reduce system efficiency, increase energy consumption, and contribute to premature wear of the heating system components.

Location: Mechanical Room - Furnace

Task: Replace furnace filter

Time: Ongoing maintenance

FURNACE \ Life expectancy

22. Condition: • Furnace appears to be near the end of its expected service life

Implication(s): As the furnace approaches end of life, there is an increased risk of breakdown, reduced efficiency, and potential loss of heat if failure occurs.

Location: Mechanical Room - Furnace

Task: Regular HVAC servicing and maintenance is recommended to maximize furnace life and reliability

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Time: At time of possession, Annually



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FURNACE \ Fresh air intake

23. Condition: • Fresh air intake for the furnace was observed to be obstructed

Implication(s): Restricted airflow may reduce combustion efficiency, affect system performance

Location: Exterior Wall

Task: Recommend clearing and maintaining the air intake free of obstructions and ensuring proper airflow to the system.

Time: Ongoing maintenance

Description

General: • Most wall insulation is concealed and not visible during inspection. Only accessible insulation is evaluated. Actual requirements vary and cannot be fully determined during a home inspection.

Attic/roof insulation material: • Not determined

Attic/roof insulation amount/value: • Not determined

Attic/roof air/vapor barrier: • Not determined

Attic/roof ventilation: • [Roof and soffit vents](#) • [Gable vent](#)

Wall insulation material: • Not determined

Wall insulation amount/value: • Not determined

Wall air/vapor barrier: • Not determined

Foundation wall insulation material: • Not determined

Foundation wall insulation amount/value: • Not determined

Foundation wall air/vapor barrier: • Not determined

Mechanical ventilation system for building: • Kitchen exhaust fan • Bathroom exhaust fan

Limitations

General: • Inspection of insulation was limited to visible and accessible areas at the time of inspection. Insulation levels, coverage, continuity, air sealing, concealed insulation, and overall thermal performance were not fully evaluated. Conditions hidden behind finished surfaces or inaccessible areas could not be determined.

Inspection limited/prevented by lack of access to: • Attic space

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

Not included as part of a building inspection: • Insulation cannot be disturbed

Recommendations

ATTIC/ROOF \ Hatch/Door

24. Condition: • Attic hatch not located or observed

Implication(s): Absence of a visible attic access point limits inspection of the attic space

Location: Attic Access (ceiling area)

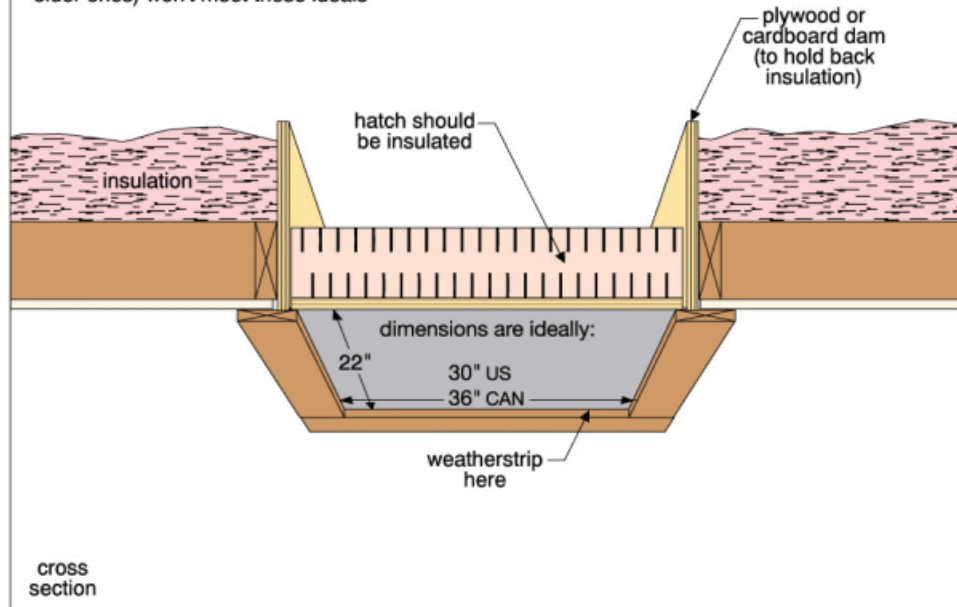
Task: Verify presence and location of attic access. Install a properly fitted, insulated, and sealed attic hatch if not present

Time: As soon as practical

Attic access hatch

the illustration shows a good attic access hatch design

hatches in many houses (especially older ones) won't meet these ideals



FOUNDATION \ Interior insulation

25. Condition: • Exposed foam board insulation observed

Implication(s): Exposed foam board insulation may present a fire hazard and can release toxic smoke when burned

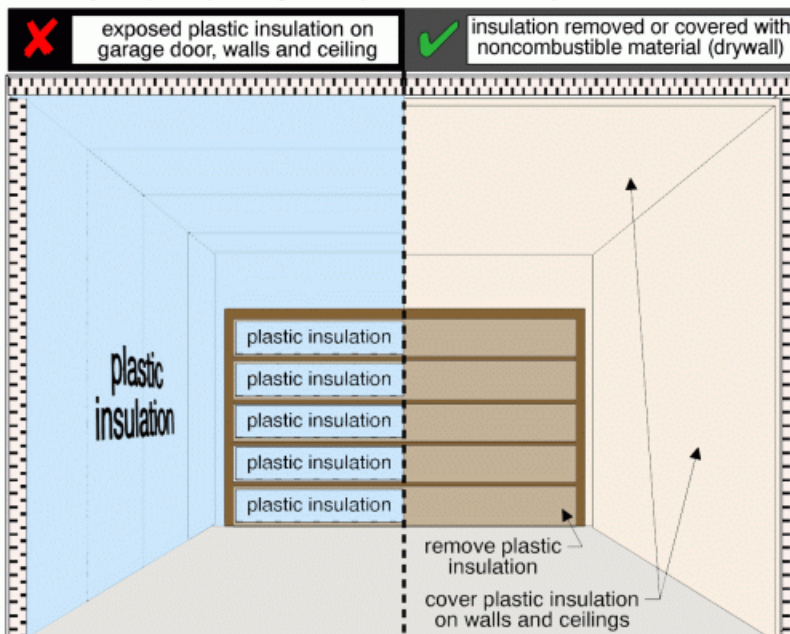
Location: Mechanical Room

Task: Recommend installation of an approved protective barrier

Time: At time of possession

Exposed combustible insulation

combustible insulation in basements, crawlspaces, garages or any other areas exposed to people, heating and/or electricity sources should be covered with drywall (wood paneling is acceptable in most areas)



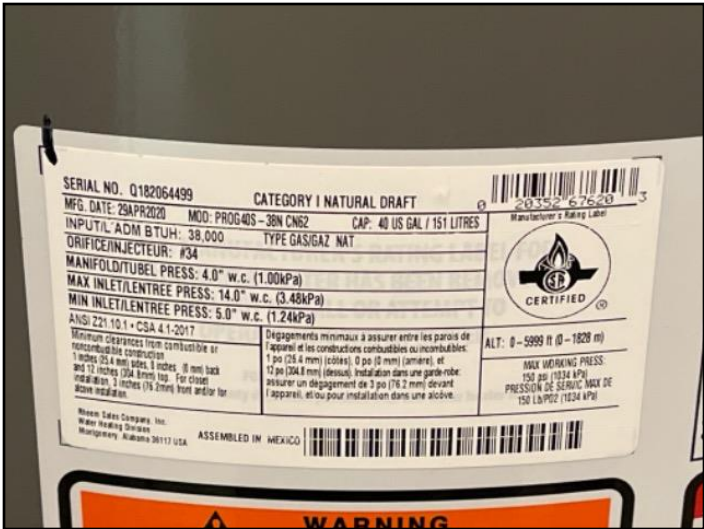
38.

Description

- General:** • The plumbing system provides potable water, removes wastewater, and helps prevent sewer gases from entering the home. Visible and accessible components are evaluated for proper function and signs of leaks, damage, or deficiencies at the time of inspection.
- Water supply source (based on observed evidence):** • Public
- Service piping into building:** • [Copper](#)
- Supply piping in building:** • [Copper](#) • PEX (cross-linked Polyethylene) • PB (Polybutylene)
- Main water shut off valve at the:**
- Basement
 - Closet
- Water flow and pressure:** • [Functional](#)
- Water heater type:** • [Conventional](#)
- Water heater location:** • Mechanical room
- Water heater fuel/energy source:** • [Gas](#)
- Water heater exhaust venting method:** • Natural draft
- Water heater manufacturer:**
- Rheem



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- Water heater tank capacity:** • 151 liters
- Water heater approximate age:** • 6 years

PLUMBING

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Water heater typical life expectancy: • 10 to 15 years

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [ABS plastic](#)

Sewer cleanout location: • Basement

Floor drain location: • Near water heater

Gas meter location: • Exterior front

Gas piping material: • Steel

Main gas shut off valve location: • Gas meter

Backwater valve: • None noted

Exterior hose bibb (outdoor faucet): • Present

Limitations

General: • Inspection of the plumbing system was limited to visible and accessible components at the time of inspection. Water supply and drainage systems were evaluated for apparent condition and visible defects. Concealed piping, underground plumbing, internal pipe conditions, water quality, flow rates, and future performance of plumbing components were not evaluated

Items excluded from a building inspection: • Concealed plumbing • Tub/sink overflows

Recommendations

SUPPLY PLUMBING \ Water supply piping in building

26. Condition: • Polybutylene (Poly-B) water supply piping was observed

Implication(s): Poly-B piping has a history of premature failure and leaks, which may result in water damage. Some insurance providers may have coverage restrictions or requirements related to Poly-B plumbing

Location: Plumbing system interior (water supply piping) Mechanical Room

Task: Recommend evaluation by a licensed plumber to assess the condition of the Poly-B plumbing system and determine if any monitoring, repairs, or replacement are required.

Time: At time of possession



41.

WASTE PLUMBING \ Drain piping - performance

27. Condition: • The condition of the underground sewer line could not be determined as part of this visual home inspection

Implication(s): Defects within underground sewer piping may exist but are not visible during a standard home inspection. Undetected issues may result in blockages, leakage, backups, or costly repairs

Location: Plumbing System Underground Drainage / Sewer Line

Task: Consider obtaining a sewer scope inspection by a qualified drainage contractor to further evaluate the condition of the underground sewer line

Time: Prior to possession

WASTE PLUMBING \ Floor drain

28. Condition: • Perforated floor drain grate missing

Implication(s): Missing floor drain grate may allow debris to enter the drain, increasing the risk of blockage and creating a potential trip or safety hazard

Location: Laundry Area

Task: Install appropriate grate cover

Time: As soon as practical



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FIXTURES AND FAUCETS \ Basin, sink and laundry tub

29. Condition: • Sink waste piping leaking

Implication(s): May cause moisture damage, deterioration of cabinetry, and potential mould growth

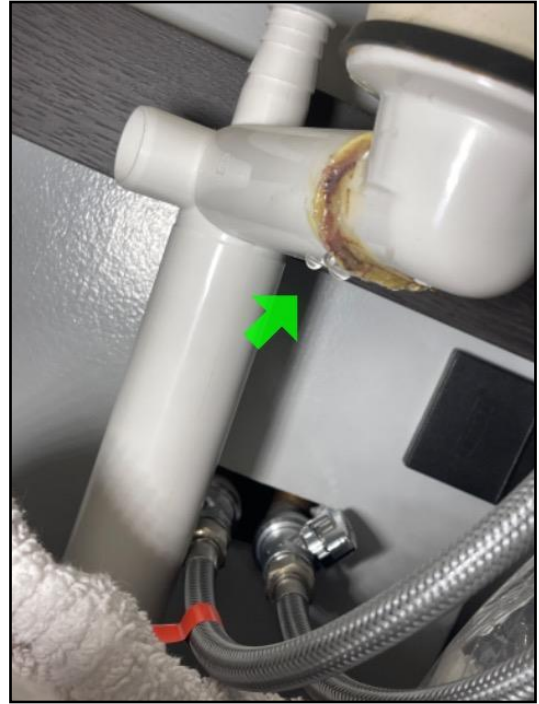
Location: Basement Bathroom, Second Floor Bathroom

Task: Repair or replace affected drain piping and connections

Time: As soon as practical - by a licensed plumber



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44.

FIXTURES AND FAUCETS \ Bathtub enclosure

30. Condition: • Window located within the shower area is susceptible to direct water exposure

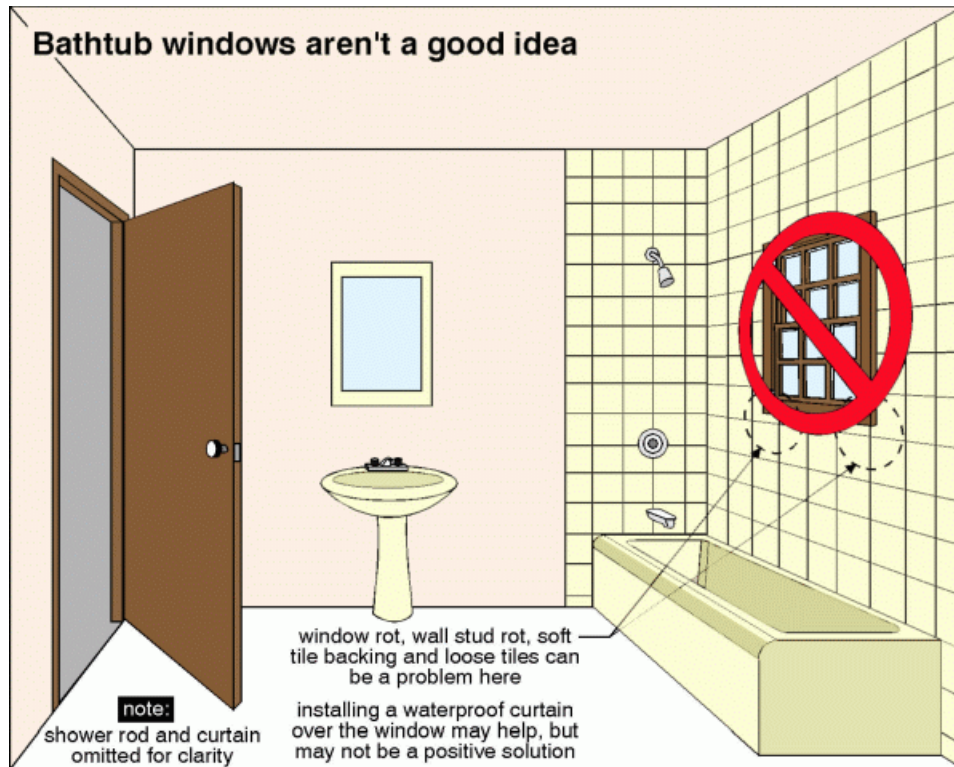
Implication(s): Repeated water exposure may cause moisture damage to the window, surrounding finishes, and concealed wall components

Location: Bathroom

Task: Install and maintain a waterproof shower curtain

Time: At time of possession

Bathtub windows aren't a good idea



Description

General: • Interior finishes are largely cosmetic. Visible components are inspected for proper function, safety concerns, and signs that may indicate underlying issues.

Major floor finishes: • [Laminate](#) • Vinyl

Major wall and ceiling finishes: • [Plaster/drywall](#) • [Stucco/texture/stipple](#)

Windows: • [Fixed](#) • [Sliders](#) • [Awning](#) • Wood • Vinyl • Metal-clad wood

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged • [Storm](#) • Metal-clad

Doors: • Inspected

Range fuel: • Electricity

Appliances: • Refrigerator • Dishwasher • Central vacuum • Range

Laundry facilities: • Washer • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

Kitchen ventilation: • Exhaust fan

Bathroom ventilation: • Exhaust fan

Laundry room ventilation: • Clothes dryer vented to exterior

Counters and cabinets: • Inspected

Stairs and railings: • Inspected

Limitations

General: • Inspection of the interior was limited to visible and accessible areas at the time of inspection. Interior components were evaluated for apparent condition, visible defects, and general functionality. Concealed conditions, areas behind finishes, furnishings, stored items, and future performance of interior components were not evaluated

Inspection limited/prevented by: • The home was occupied during the inspection.

Not tested/not in service:

• Dryer



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Not included as part of a building inspection: • Window treatments

Appliances: • Appliance inspection is limited to a basic operational check. Temperature measurements, cycle completion, performance testing, and future reliability are not evaluated as part of the home inspection

Recommendations

STAIRS \ Guardrails

31. Condition: • Stair guard rail missing

Implication(s): Missing guardrail increases the risk of falls and injury

Location: Staircase

Task: Install a compliant guardrail by a qualified contractor

Time: At time of possession



46.

EXHAUST FANS \ Duct

32. Condition: • Exhaust fan termination point not located

Implication(s): Improper or unknown exhaust discharge may allow moisture accumulation and potential damage

Location: Bathroom, Kitchen

Task: Verify exhaust fan termination location and confirm proper discharge to the exterior

Time: At time of possession

APPLIANCES \ Washing machine

33. Condition: • Older or low-quality washing machine supply hoses observed.

Implication(s): Increased risk of hose failure, leaks, and potential water damage to surrounding finishes and building components.

Location: Laundry Area

Task: Replace with modern, reinforced braided stainless steel hoses and inspect connections.

Time: At time of possession

APPLIANCES \ Dryer

34. Condition: • Dryer venting was observed to be obstructed

Implication(s): Restricted dryer venting may reduce efficiency, increase drying times, and create a potential fire hazard from lint buildup and overheating

Location: Laundry area dryer venting system

Task: Recommend clearing the dryer vent and ensuring proper, unobstructed airflow to the exterior termination point.

Time: At time of possession

POTENTIALLY HAZARDOUS MATERIALS \ General notes

35. Condition: • Building materials observed may be consistent with age and construction methods that could include asbestos-containing materials.

Implication(s): If asbestos-containing materials are present and disturbed, they may release hazardous fibres, posing a potential health risk to occupants and workers

Location: Mechanical Room

Task: Recommend further evaluation and testing by a qualified environmental professional prior to any disturbance, renovation, or removal of suspect materials.

Time: When remodelling



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COMMENTS \ Additional

36. Condition: • None

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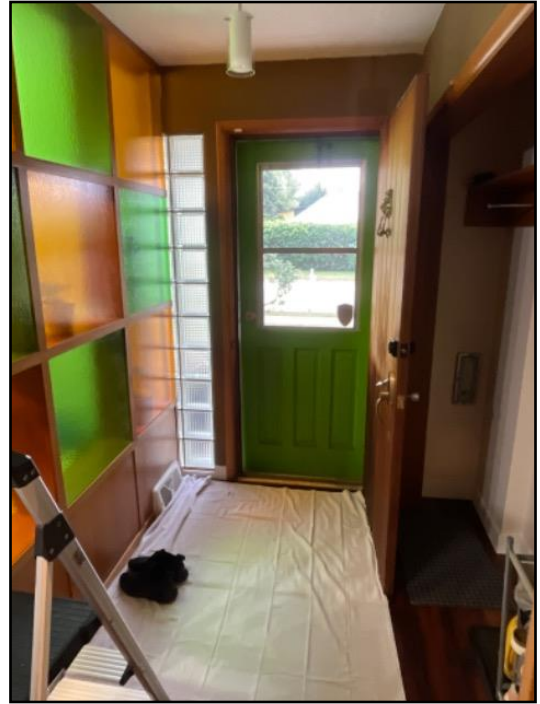
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Description

GOOD ADVICE FOR ALL HOMEOWNERS: • The following items explain how to prevent and correct some common problems.

Roof Leaks: • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

Annual Roof Maintenance: • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

Ice Dams on Roofs: • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

Maintaining the Exterior of Your Home: • Regular maintenance includes painting and caulking of all exterior wood.

Heating and Cooling System - Annual Maintenance: • An annual maintenance agreement that covers parts and labour is recommended for all heating and cooling equipment. Humidifiers and electronic air cleaners should be included in the service agreement. The first service visit should be arranged as soon as possible, preferably before equipment is used. • Filters for furnaces and air conditioners should be checked monthly during the operating season and changed when they are dirty. Duct systems should be balanced during regular servicing for maximum comfort. Systems with heating and air conditioning require different balance setups for summer and winter. • For boiler/hot water systems, we recommend that any balancing or adjusting of radiator valves be performed by a specialist, due to the risk of leakage. Heating system valves are not operated during a home inspection. • Gas fireplaces and heaters should be included in annual service plans with gas furnaces, boilers or water heaters.

Fireplace and Wood Stove Maintenance: • Wood burning appliances and their chimneys should be inspected and cleaned before you use them the first time and annually thereafter. We recommend specialists with WETT (Wood Energy Technology Transfer) designations for this kind of work.

Electrical System - Label the Panel: • The electrical panel should be labelled to indicate what is controlled by each fuse or breaker. Where the panel is already labelled, please verify the labelling is correct. Do not rely on the labelling being accurate.

Insulation Amounts - Current Standards: • Current standards for insulation in new construction are outlined below: • Attic and roof space: R-40 (R-50 if electric heat) • Floors above garages and other unheated areas: R-25 • Cathedral roof: R-28 • Walls: R-19 (R-29 if electric heat) • Basement/crawlspace walls: R-12 (R-19 if electric heat)

Reduce Air Leaks: • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

Bathtub and Shower Maintenance: • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

Basement/Crawlspace Leakage: • Almost every basement (and crawlspace) leaks under the right conditions. • [Click for](#) more information.

Smoke and Carbon Monoxide (CO) Detectors: • Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home, including basements and crawl spaces. (Even if they are present during the inspection, we recommend replacing detectors.) Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home

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inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

Washing Machine Hoses: • We suggest braided steel hoses rather than rubber hoses for connecting washing machines to supply piping in the home. A ruptured hose can result in serious water damage in a short time, especially if the laundry area is in or above a finished area of the home.

Clothes Dryer Vents: • We recommend vents for clothes dryers discharge outside the home, and the vent material should be smooth walled (not corrugated) metal, and the run should be as short and straight as practical. This reduces drying time, energy consumption and cost; and minimizes the risk of a lint fire inside the vent.

MORE GOOD INFORMATION: • The following links give you access to documents that provide additional information on a range of topics.

Life Cycles and Costs: • [Ballpark estimates based on a typical three-bedroom home.](#)

Priority Items for Home Buyers: • [A list of things you should do when moving into your new home and a few regular maintenance items.](#)

Maintenance: • [Scheduled maintenance can avoid repairs and extend the life expectancy of many home components.](#) This document helps you look after your home.

When Things Go Wrong: • [Unpleasant surprises are unfortunately part of homeownership. This document helps to explain why things happen and why your home inspector may not have predicted it.](#)

Supplementary Information: • This section provides information on topics beyond the scope of home inspection including asbestos, radon, urea formaldehyde foam insulation, lead, carbon monoxide, household pests and mould.

Standards of Practice: • Home Inspection Association British Columbia

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS